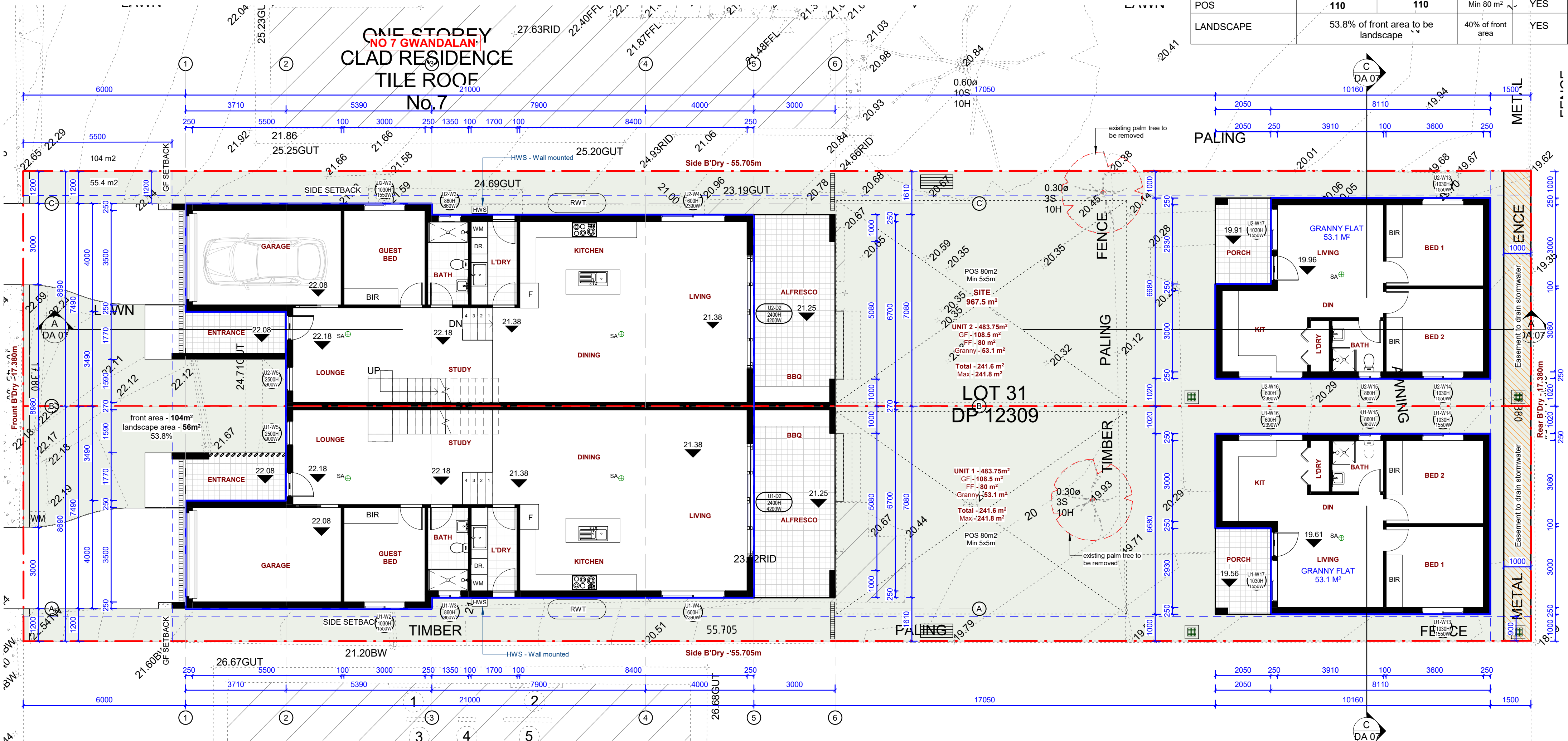


COMPLIANCE TABLE				
SITE AREA (SQM)		967.5 m ²		
		PROPOSED		STANDARD
UNITS		UNIT 1	UNIT 2	COMPLIANT
AREA (SQM)		483.75	483.75	
	GROUND FLOOR	108.5	108.5	-
	FIRST FLOOR	80	80	-
	GRANNY FLAT	53.1	53.1	-
	TOTAL	241.6	241.6	
FSR PERMISSIBLE		241.8	241.8	YES
POS		110	110	Min 80 m ² YES
LANDSCAPE		53.8% of front area to be landscape		40% of front area YES



NO 3 GWANDALAN

BASIX CERTIFICATE NO: 1744062M
ASSESSOR NUMBER : 20731
CLIMATE : 56

GENERAL NOTES

- ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO ANY WORK COMMENCEMENT.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE
- LEVELS SHOWN ARE APPROX. ONLY AND SHOULD BE VERIFIED ON SITE

REV	AMENDMENTS	Date
1		

(M)	INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF	(SKL)	VENTILATED SKYLIGHT	(SKL)	SKYLIGHT	(HWS)	WALL MOUNTED HOT WATER SYSTEM	(RWT)	RAINWATER TANK		CLOTHES LINE	(SA)	SMOKE ALARM TO COMPLY WITH AS.3786
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EPW DESIGNS

109 WOOLCOTT ST. EARLWOOD NSW 2206

P (02) 9591 5292
M 0402206326
E epwdesigns@gmail.com

DRAWING TITLE:
GROUND FLOOR PLAN

Demolition of existing structures and construction of a two-storey dual occupancy with granny flats, front fence and associated Torrens title subdivision

AT: NO. 5 GWANDALAN RD, PADSTOW NSW 2211

DEVELOPMENT APPLICATION

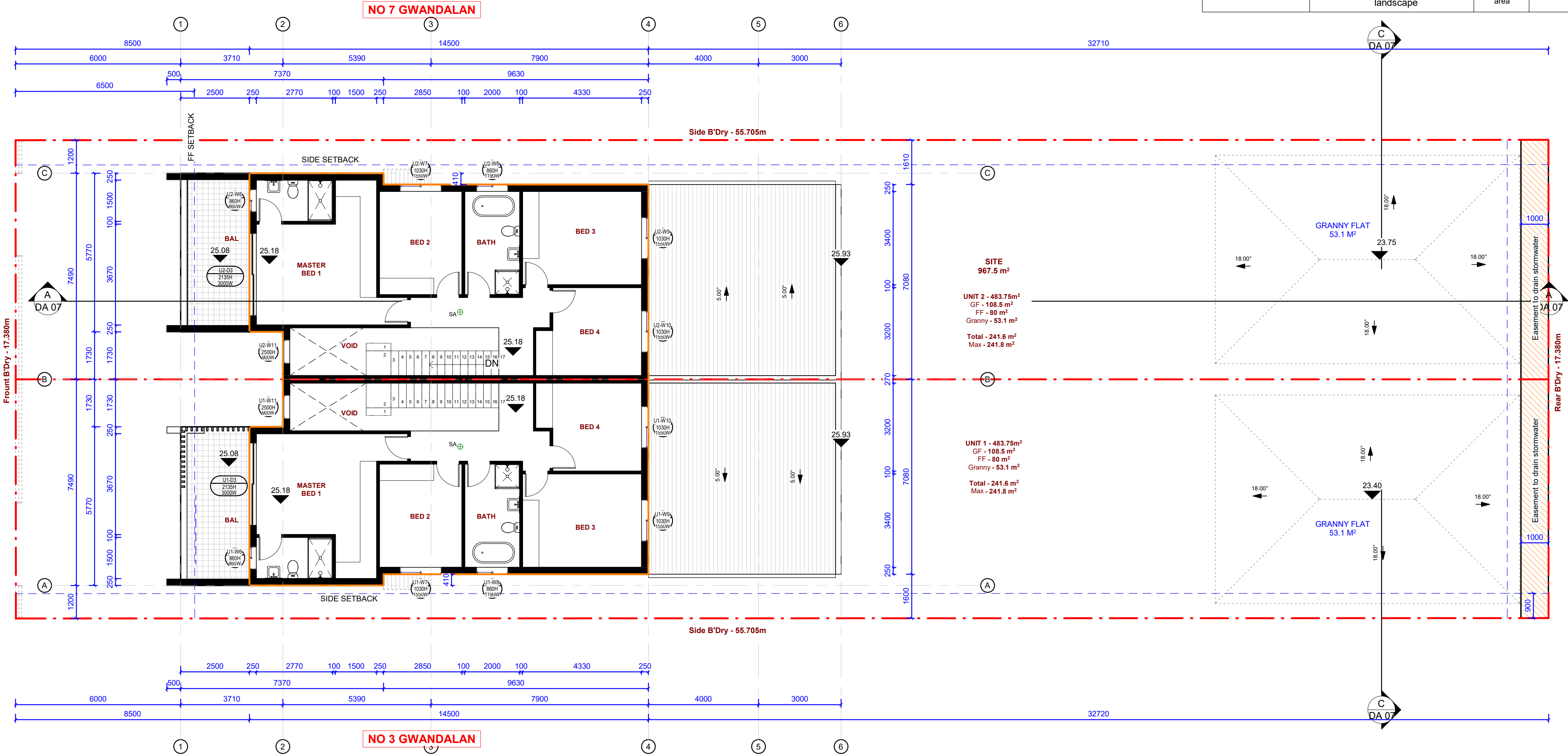
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ISSUE DATE: 17/04/2024
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SCALE: As indicated (A2)

DRAWING NO: DA 02

COMPLIANCE TABLE					
SITE AREA (SQM)		967.5 m ²			
		PROPOSED		STANDARD	COMPLIANT
UNITS		UNIT 1	UNIT 2		
AREA (SQM)		483.75	483.75		
	GROUND FLOOR	108.5	108.5	-	-
	FIRST FLOOR	80	80	-	-
	GRANNY FLAT	53.1	53.1	-	-
	TOTAL	241.6	241.6		
FSR PERMISSIBLE		241.8	241.8	YES	YES
POS		110	110	Min 80 m ²	YES
LANDSCAPE		53.8% of front area to be landscape		40% of front area	YES



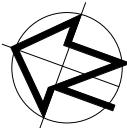
BASIS CERTIFICATE NO: 1744062M
ASSESSOR NUMBER : 20731
CLIMATE : 56

INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF: OPERATION CONTROL: MANUAL SWITCH ON/OFF	VENTILATED SKYLIGHT	SKYLIGHT	WALL MOUNTED HOT WATER SYSTEM	RAINWATER TANK	CLOTHES LINE	SMOKE ALARM SA TO COMPLY WITH AS.3786
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GENERAL NOTES

- ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO ANY WORK COMMENCEMENT.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE
- LEVELS SHOWN ARE APPROX. ONLY AND SHOULD BE VERIFIED ON SITE

REV	AMENDMENTS	Date
1		



EPW DESIGNS

109 WOOLCOTT ST. EARLWOOD NSW 2206

P (02) 9591 5292
M 0402206326
E epwdesigns@gmail.com

DRAWING TITLE:
FIRST FLOOR PLAN

Demolition of existing structures and construction of a two-storey dual occupancy with granny flats, front fence and associated Torrens title subdivision

AT: NO. 5 GWANDALAN RD, PADSTOW NSW 2211

DEVELOPMENT APPLICATION

DRAWN BY: LN

ISSUE DATE: 17/04/2024
3:27:13 PM

SCALE: As indicated (A2)

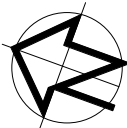
DRAWING NO: DA 04

COMPLIANCE TABLE					
SITE AREA (SQM)		967.5 m ²			
		PROPOSED		STANDARD	COMPLIANT
UNITS		UNIT 1	UNIT 2		
AREA (SQM)		483.75	483.75		
	GROUND FLOOR	108.5	108.5	-	-
	FIRST FLOOR	80	80	-	-
	GRANNY FLAT	53.1	53.1	-	-
	TOTAL	241.6	241.6		
FSR PERMISSIBLE		241.8	241.8	YES	YES
POS		110	110	Min 80 m ²	YES
LANDSCAPE		53.8% of front area to be landscape		40% of front area	YES

GENERAL NOTES

- ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO ANY WORK COMMENCEMENT.
- ALL DIMENSIONS ARE IN MILLIMETRES INLESS OTHERWISE STATED
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE
- LEVELS SHOWN ARE APPROX. ONLY AND SHOULD BE VERIFIED ON SITE

REV	AMENDMENTS	Date
1		



EPW DESIGNS

109 WOOLCOTT ST. EARLWOOD NSW 2206

P (02) 9591 5292
M 0402206326
E epwdesigns@gmail.com

DRAWING TITLE:
CALCULATION

Demolition of existing structures and construction of a two-storey dual occupancy with granny flats, front fence and associated Torrens title subdivision

AT: NO. 5 GWANDALAN RD, PADSTOW NSW 2211

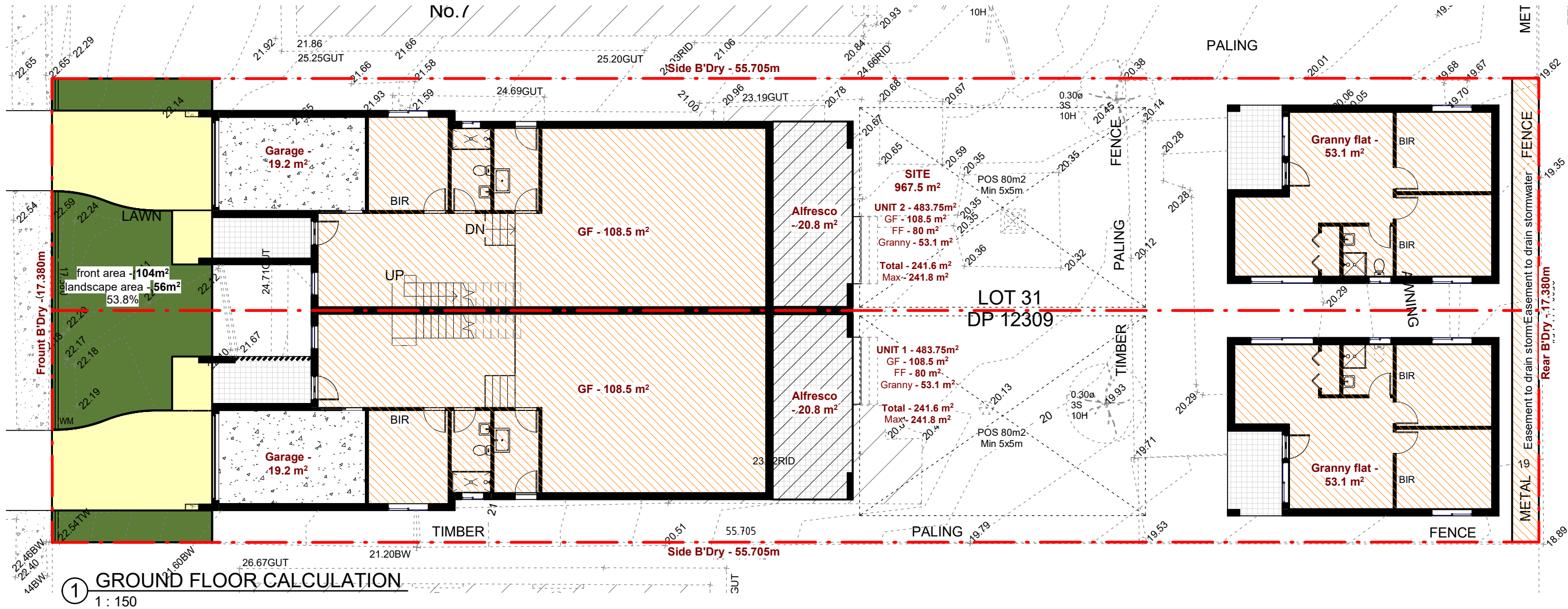
DEVELOPMENT APPLICATION

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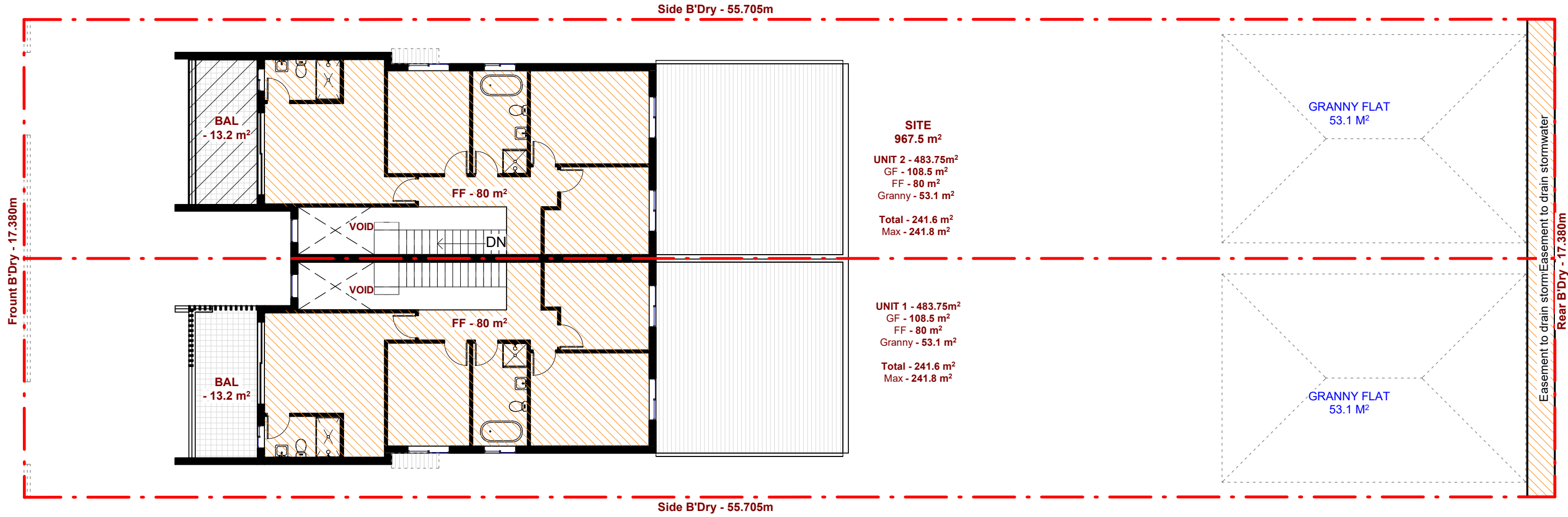
ISSUE DATE: 17/04/2024
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SCALE: As indicated (A2)

DRAWING NO: DA 15



① GROUND FLOOR CALCULATION
1 : 150



② FIRST FLOOR CALCULATION
1 : 150